



# Hoby with Rotherby Character Assessment

Addendum:

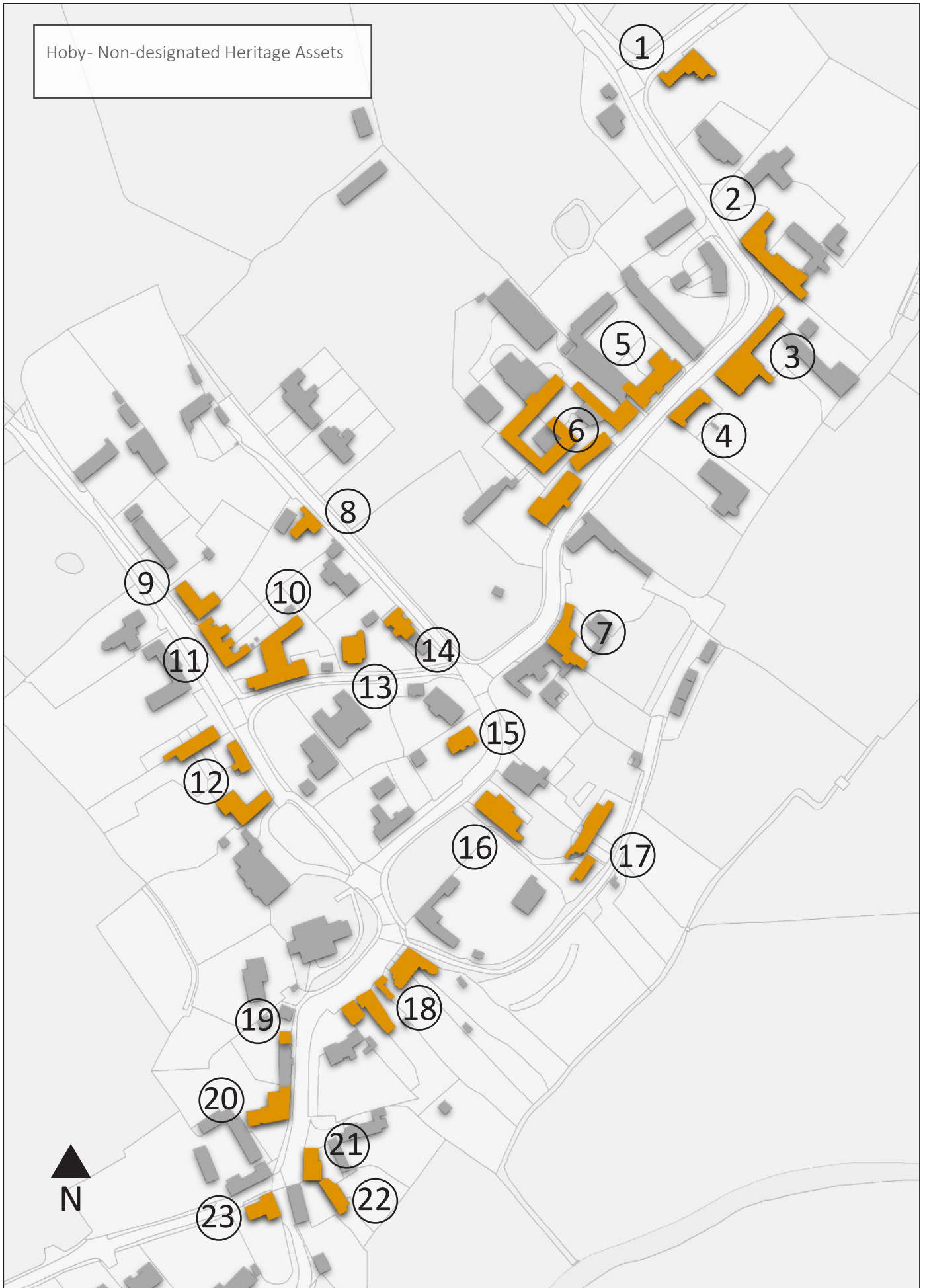
Non-designated heritage asset profiles







**HOBY**

NON-DESIGNATED HERITAGE  
ASSET PROFILES

Hoby - Non-designated Heritage Assets










HOBY - NON-DESIGNATED HERITAGE ASSETS			
Map Reference No.	Property address/name	Description	Image(s)
1	Hill House, Frisby Road	Hill House stands along Frisby Road, where its robust L-shaped form marks the northern gateway into Hoby. The dwelling is constructed of red brick with buff brick window surrounds and a slate roof. It has a 3-bay facade that runs perpendicular to the road, with bay windows flanking the central entrance at ground level and sash windows above.	
2	Gables Farm, Main Street	Gables Farm is a long, linear property, whose extensive red brick facade forms a visual stop on the bend leading out of the village at its northern end. Set to the right of the central vehicular access, the original dwelling seeks to bring a more vertical emphasis to its form through the progression of tall, slender chimney stacks and ground and first floor windows aligned below dormers.	
3	The Grange (No.50) and Archway Cottage (No.52), Main Street	The Grange is a large, mid-1800s house and landmark building at the northern end of Main Street. Its bright red brick facade hosts regularly arranged sash windows (both 6-over-6 and 8-over-8) and a panelled front door enclosed by impressive stone surround, whilst imposing chimneys top the building. Archway Cottage has a contrasting rendered facade and but retains a aesthetic unity with The Grange through its similar roof profile and slate finish, and the progression of red brick chimney stacks and multi-paned sash windows. The arched ground-level vehicular entrance to Archway Cottage is a distinctive and defining feature that appears prominently in views looking south-east from the northern end of Main Street.	
4	No.46 and 48, Main Street	No.46 and 48 Main Street take cues from both Manor Farm and Gables Farm in their design and aesthetic. They display a pure symmetry, achieved via the even distribution of fenestration and doorways across the facade, and the chimney stacks and dormers at roof level.	
5	Warren Farm, Main Street	Warren Farm, a 18th century former hunting lodge, has an elegant off-white facade incorporating a tall, narrow gabled porch and wing. Details include a string course across the entire facade and pediment above the entrance door.	



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6	Manor Farm, barns and outbuildings, Main Street	<p>Constructed in the 1870s, Manor Farm is a commanding, landmark residence positioned right on Main Street, where its sizeable form projects a strong frontage to the street. Constructed of a locally distinct materials palette of red brick with slate roofing, Manor Farm's considerable bulk is embellished by a number of more intricate features and details including painted timber king post trusses in dormers and gables, a gabled porch with an inset stone inscription and brick arch doorway, and broad red brick chimneys along the ridge, which are topped by more delicate crown chimney pots. Complementing the main farmhouse are a number of original brick barns constructed in the local vernacular, which stand as interesting and locally distinct buildings in their own right, remnant's of the recent past and important monuments to the village's agricultural heritage.</p>	
7	The Leys, Main Street	<p>The Leys has two-tone Flemish brick facade that contrasts pleasingly with the plainer, pale finish of the adjoining Blue Bell Inn. Sash windows with stone lintels are positioned either side of the central doorway, whilst chimneys emerge from the slate roof at each gable end.</p>	
8	No.7 Chapel Lane	<p>No.7 Chapel Lane is a traditional two-storey red brick farm house whose simple form and composition is embellished by the pair of imposing chimney stacks projecting from either gable.</p>	
9	Clematis Cottage, Church Lane	<p>Clematis Cottage is a delightful Queen Anne dwelling with a distinct red brick Victorian facade incorporating two pitched front gables with sliding sash bay windows at ground floor level and casement windows above. Some particularly tall and slender chimney stacks give the building a unique and eloquent roof profile.</p>	
10	The Old Rutland, Regent Road	<p>The Old Rutland forms a strong and distinct frontage along a significant stretch of the northern side of Regent Road. Formerly a public house (the Rutland Arms), the building is now a private dwelling. The main body of the house is rendered, with only the chimneys still displaying the original red brickwork. The traditional hanging sign mounted on the upper facade is a memorable feature that subtly hints at this property's previous life as a public house.</p>	
11	No.4, 6 and 8 Church Lane	<p>No.4, 6 and 8 Church Lane are a row of 19th century terraced cottages of polite design whose long, linear form projects a strong frontage on to Church Lane. Despite some personalisation across the properties, including adaptations to the original fenestration, the cottages still retain much of their original charm and character, remaining a coherent and attractive grouping.</p>	

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12	Glebe House, Glebe Cottages, and No.3, Church Lane	Glebe House, No.3 Church Lane and Glebe Cottages form a distinct grouping of vernacular properties along the western side of Church Lane. The former two dwellings have been sensitively converted to residential use, having originally been outbuildings. Across these buildings red brick dominates. Roofs are pitched and finished in slate with occasional dormer windows and chimney stacks adding visual interest to the roof profiles.	
13	Square House, Regent Road	Square House is an attractive detached dwelling with a distinct facade incorporating a hipped slate roof above ground floor level, below which lies a central porch with intricately crafted timber arch and pilasters flanked on either side by two rows of sliding sash windows. The less busy upper level hosts two sash windows separated by a central expanse of red brick, whilst a hipped roof with chimney stacks tops the building. Along the frontage red brick boundary walling with grey coping stones mirrors and complements the aesthetic of the house.	
14	Methodist Chapel, Chapel Lane	The 19th century Methodist Chapel forms a local landmark at the top of Chapel Lane. Its modest and understated scale and aesthetic is enlivened by two small gabled entrances with slate roofs that extend out from the main facade, each incorporating a wall-mounted lantern above painted timber doors. Two large 8-over-12 vertical sliding sash windows animate the remainder of the frontage.	
15	The Old School, Main Street	The old Hoby school closed in the 1970s, and has since been sensitively converted into a private residence, whilst preserving much of its original character and charm. The carefully-designed, modern side extension can then be clearly appreciated as being of a different era to the old school, and actually accentuates the original historic building.	
16	Village Hall, Main Street	The instantly recognisable Village Hall is a local landmark and community hub. Its modest painted brick form is adorned by several charming features, including a clock above the entrance and a weather vane along the roof ridge.	

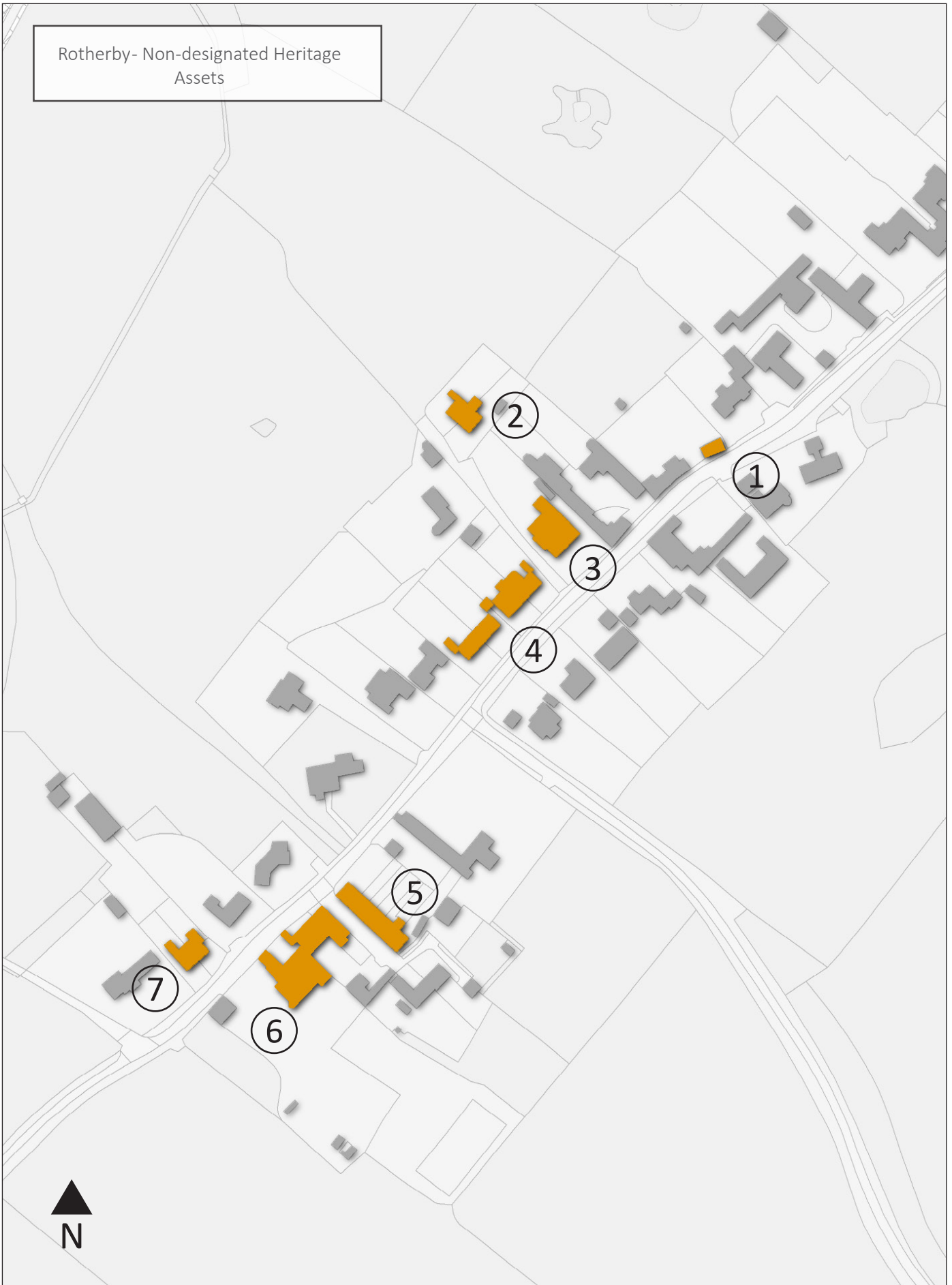
<b>Map Reference No.</b>	<b>Property address/name</b>	<b>Description</b>	<b>Image(s)</b>
17	No.1-7 (odd) Back Lane	<i>Back Lane is host to several cottages whose simple vernacular aesthetic is complemented by the secluded, informal rural setting that they enjoy. Red brick is the primary construction material, though No.1 Back Lane has a white rendered facade. Their pitched roofs accommodate chimneys along the ridge and are finished in either clay pantiles or slate, the former being a material not typically utilised in the village.</i>	
18	No.14-24 (even) Main Street	<i>No.14-24 (even) Main Street are an important building grouping within the wider setting of All Saints Church, where they stand along a common building line and combine to present a strong, characterful frontage to this part of Main Street.</i>	
19	Church Gables, Main Street	<i>Church Gables, with its obvious Tudor influences forms a charming and distinct feature within the setting of All Saints Church.</i>	
20	The Chantry, Main Street	<i>The Chantry is one of the most attractive and beautifully detailed buildings in the village, its stunning southern elevation with brick dentil course and thick band of wisteria greeting visitors entering the village from Brooksby Road.</i>	
21	The Cottages, Main Street	<i>The Cottages is a white-rendered house with timber framed casement windows. The granite kerb stones and cobblestones that front the property are an attractive streetscape feature.</i>	
22	Hillcrest, Main Street	<i>Hillcrest is a two-storey cottage positioned in a secluded site just off Main Street. Its brick form is painted entirely white, which contrasts pleasingly with its pitched clay pantile roof and red brick chimney stacks.</i>	
23	Holm Cottage, Thrussington Road	<i>With frontages along both Brooksby Road and Thrussington Road, Holm Cottage is one of the most prominent buildings at the southern gateway into Hoby. It is constructed of red brick, much of which is painted white, and has timber casement windows across its facade. Single-storey and two-storey elements give it a particularly unique and interesting form.</i>	



# **ROTHERBY**

## **NON-DESIGNATED HERITAGE ASSET PROFILES**


Rotherby- Non-designated Heritage Assets



**ROTHERBY - NON-DESIGNATED HERITAGE ASSETS**

Map Reference No.	Property address/name	Description	Image(s)
1	Outbuilding at Orchard House, Main Street	The small outbuilding at Orchard House currently stands in a slightly dilapidated and neglected state. Nevertheless, the building's distinct vernacular aesthetic coupled with its prominent positioning along Main Street make a locally valued building that contributes positively to the village townscape.	
2	No.2 and 4 The Lane	No.2 and 4 The Lane are characterised by their tile-fronted, low-sweeping gables, and the towering and ornate chimney stack.	
3	Manor Farmhouse, Main Street	Manor Farmhouse is a large three-storey dwelling of red brick with slate roofing. Its side profile is a prominent feature along The Lane, whilst its 3-bay principal elevation faces on to Main Street, and accommodates a distinct central canopy over its front entrance.	
4	No.17, 19, 21, and 23 Main Street	No.17, 19, 21, and 23 Main Street form a strong frontage along the central part of Main Street, their unpretentious semi-detached, two-storey forms adhering to a common building line and the same uniform design and detailing.	
5	The Row, Main Street	The Row comprises a single terrace of traditional red brick cottages, several with Swithland slate roofs. Bay windows feature at ground floor level, with casement windows on the upper floors. Chimneys along the ridge give the roof a distinct and rhythmic profile.	
6	The Grange, Rotherby Cottage and Pump Cottage, Main Street	<p>The Grange at No.2 Main Street is a substantial and particularly handsome property, its ivy-clad facade running perpendicular to the road, where it overlooks mature private grounds and forms a truly distinct and eye-catching spectacle on the approach into Rotherby from the west along Main Street.</p> <p>Rotherby Cottage and the attached Pump Cottage form a pair of attractive red brick dwellings. The former displays a 3-bay symmetrical facade with the central doorway flanked by bay windows with intricate metal fenestration. Pump Cottage, slightly subservient to the more substantial Rotherby Cottage, was formerly a 16th century public house.</p>	

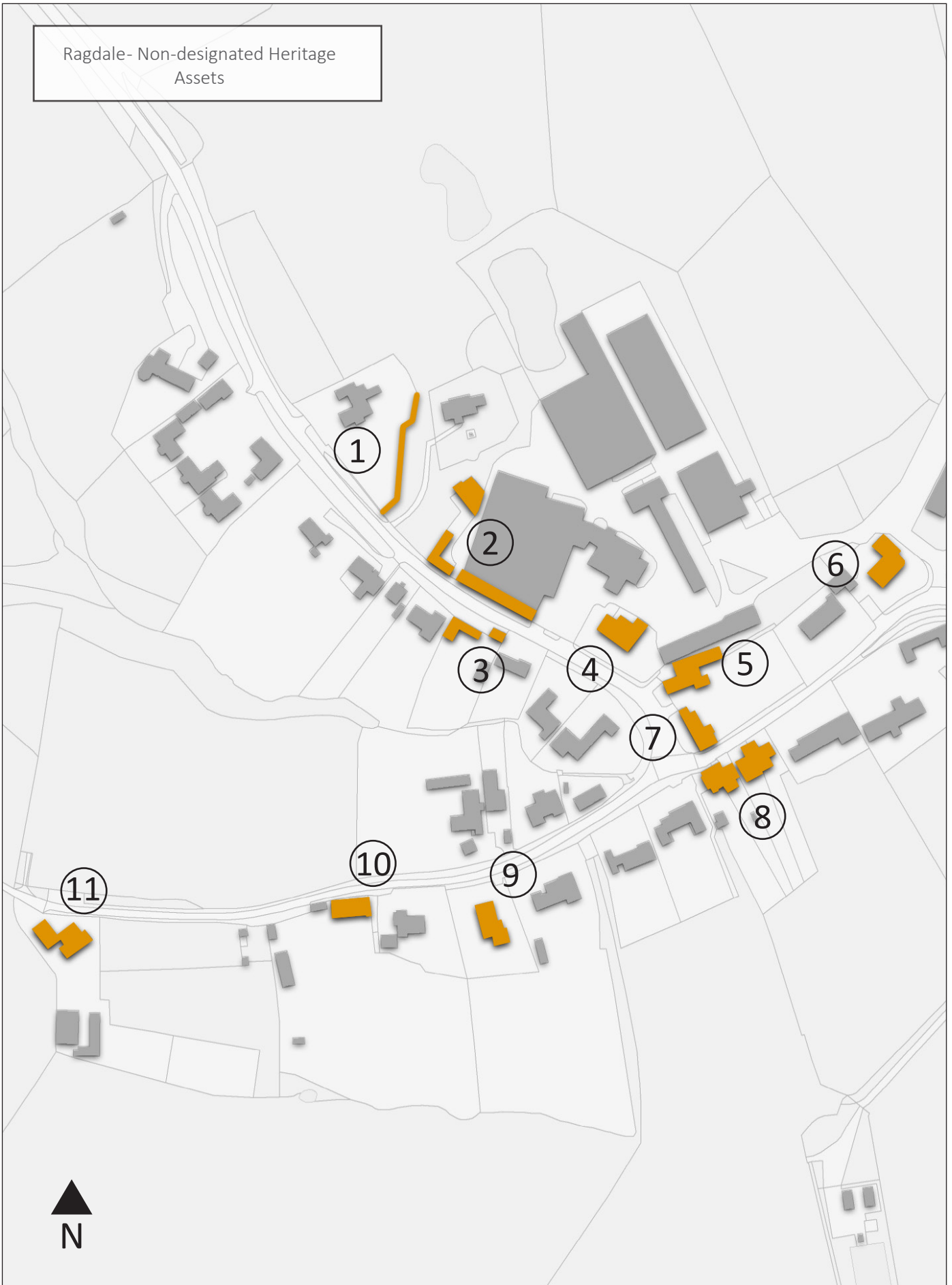


<b>Map Reference No.</b>	<b>Property address/name</b>	<b>Description</b>	<b>Image(s)</b>
7	No.3 and 5 Main Street	<i>No.3 and 5 Main Street are a charming pair of semi-detached inter-war properties with distinctive red tile clad dormers projecting from their steep and tall pitched roofs and a centrally positioned, shared chimney stack. Timber framed bay windows feature at ground floor level, whilst at first floor casement windows are present.</i>	

# **RAGDALE**


## **NON-DESIGNATED HERITAGE ASSET PROFILES**

Ragdale- Non-designated Heritage Assets





**ROTHERBY - NON-DESIGNATED HERITAGE ASSETS**

Map Reference No.	Property address/name	Description	Image(s)
1	Original boundary walling of the Old Hall	<p>Across from the churchyard and edging the north parts of the paddock space is a length of attractive boundary walling, which represents the last standing physical remnants of Ragdale's Old Hall. Of stone and red brick, this walling is yet another important and characterful feature within the visually rich and historic setting of All Saints Church. The wall is both of historic significance to the village and also forms an attractive edge to this key green space.</p>	
2	Outbuildings at Old Hall Farm, Six Hills Road	<p>One of the defining and most appealing characteristics of Six Hills Road are the grouping of single-storey, red brick traditional farm outbuildings at Old Hall Farm, which reinforce the rural village character of this part of the village whilst providing an attractive and memorable edge to the road. Two of these three buildings are positioned right along Six Hills Road, where the rich red hues of their long, linear forms contrast pleasingly with the grass verges they abut and the ornamental bushes that clamber over their brickwork. A third building, set further back from the road, contributes positively to the character of the adjoining paddock, itself a fundamental element of the setting of All Saints Church.</p>	
3	The White House, Six Hills Road	<p>Dating from the late 17th century, The White House is Ragdale's longest standing dwelling and a valued remnant of the village's past. With its brilliant white facade, it contrasts starkly with the wider array of red brick buildings and greenery that characterises much of this side of Six Hills Road, and this distinct colouration combined with its prominent positioning and handsome vernacular aesthetic, make The White House an eye-catching, landmark property. The dwelling displays a simple one-and-a-half storey form, incorporating two dormer windows within its slate roof. Three shallow bay windows populate the main facade, with a central entrance positioned beneath a pitched canopy. The southern side of the dwelling hosts a lean-to, one of a number of additions and alterations the property has been subject to since first constructed. All fenestration and doors are black painted timber.</p>	
4	Farmhouse at Old Hall Farm, Six Hills Road	<p>The farmhouse at Old Hall Farm is a detached, two-storey dwelling with a simple, traditional pitched-roof form with chimneys along the ridge and at either gable end. Like many of the village's dwellings, it is constructed of red brick, which is covered with white pebble-dashed along the upper level of its front elevation.</p>	

5	<i>Outbuilding at Home Farm, Main Street</i>	<i>An important local building in its own right, the large 19th century outbuilding at Home Farm, which runs perpendicular to Main Street, is a handsome vernacular structure and one of Ragdale's best preserved traditional agricultural buildings.</i>	
6	<i>Rakedale House, Hoby Road</i>	<i>The distinct profile of Rakedale House welcomes those travellers as they enter Ragdale at its southern end via Hoby Road. This attractive mid-20th century property takes several cues from the village's more historic buildings, using red brick as the primary material and incorporating elements such as six-over-six pane sash windows and brick chimney stacks.</i>	
7	<i>Home Farm, Main Street</i>	<i>The most authentic and finest period residence in the village, Home Farm has a simple, pure Georgian aesthetic. It is formed of a long two-storey block with pitched slate roof that runs parallel to Main Street, and a larger three-storey component with hipped roof that protrudes forward from the principle elevation and marks the corner of Main Street and Hoby Road. Its well-proportioned red brick facade accommodates both casement and sash windows with timber frames and glazing bars.</i>	
8	<i>No.2-8 (even) Hoby Road</i>	<i>The pair of semi-detached red brick residences at No.2-8 (even) Hoby Road at key built elements contributing to the rich and distinct character at the junction of Six Hills Road, Hoby Road and Main Street. As with many of the village's vernacular properties, the building has a slate roof with red brick elevations and chimney stacks.</i>	
9	<i>No.7 Main Street</i>	<i>Present on the 1884 map, No.7 Main Street nestles behind a raised grass verge and hedgerow, with only its distinctive gable end visible from the road. However, from the driveway entrance a view can be gained towards its extensive painted brick facade with slate roofs staggered at different levels across the building.</i>	
10	<i>No.11 Main Street</i>	<i>No.11 is one of Main Street's most distinct residences, with a long white facade that runs parallel to the road, creating a strong frontage along Main Street. Its exposed gable end with lopsided roof features prominently in views looking west along Main Street.</i>	
11	<i>No.11 Main Street</i>	<i>East Lodge stands in an elevated site at the end of Main Street, where its well-proportioned, asymmetrical red brick facade with front facing gable peers downhill towards the village core. It stands as a distinct and handsome gateway building, greeting those entering the village from public rights of way H49 and H50</i>	

# **BROOKSBY**

## **NON-DESIGNATED HERITAGE ASSET PROFILES**

Brooksby- Non-designated Heritage Assets

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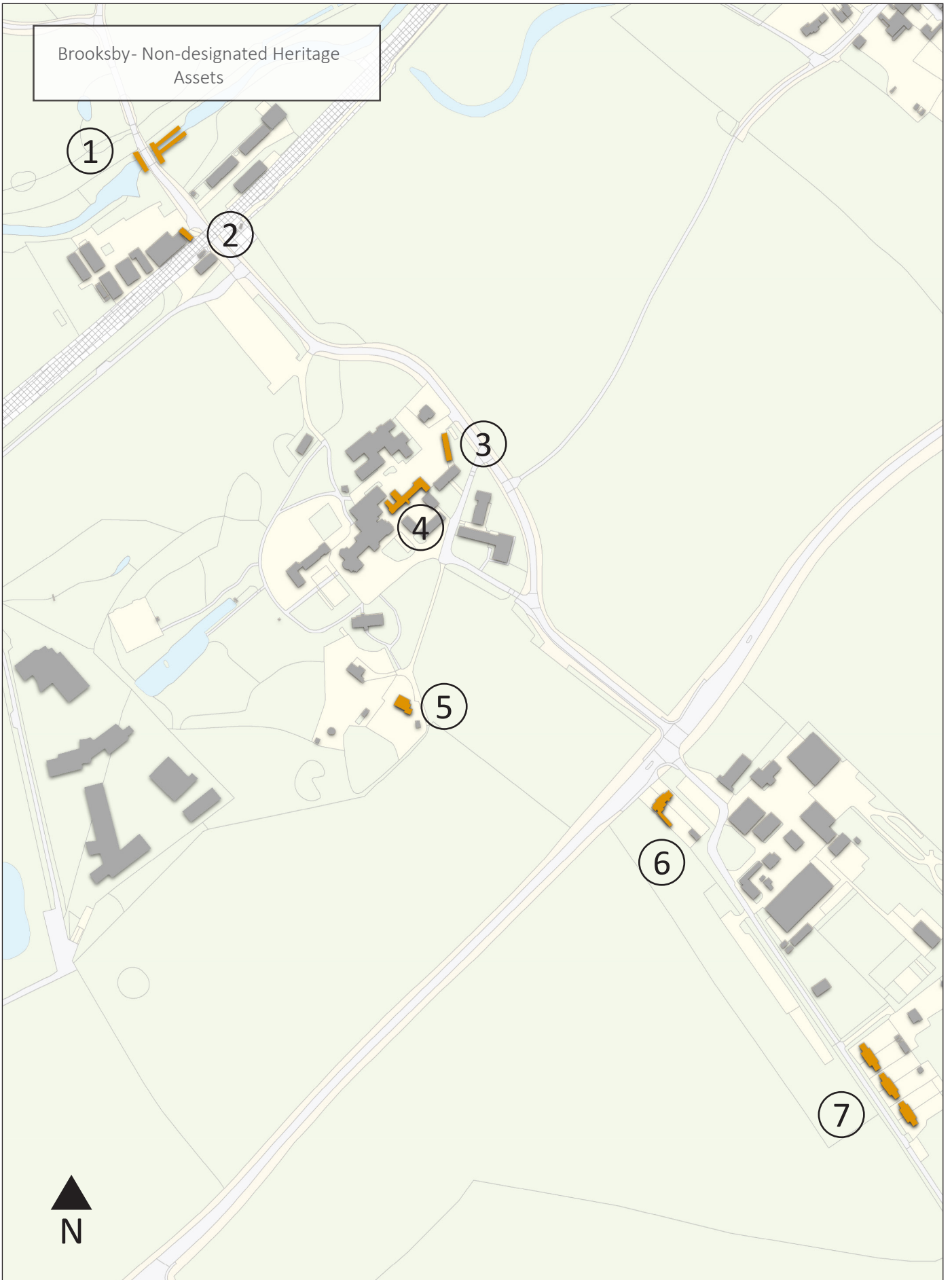
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**BROOKSBY - NON-DESIGNATED HERITAGE ASSETS**

Map Reference No.	Property address/name	Description	Image(s)
1	Canal walls and bridge at the River Wreake	The River Wreake was navigable for about 100 years from Melton Mowbray to Syston. However, after the arrival of the railway the canal fell into disuse. Today only a few sections of brick wall remain, with some particularly well preserved stretches being positioned just north of the railway station. These remnants of the old canal can be viewed from the bridge at Brooksby's northern end. Constructed by Leicestershire County Council in 1935, the Art Deco influenced bridge at the northern gateway to Brooksby forms a handsome and distinct crossing over the River Wreake. From this position, a beautiful view towards Hoby can be gained.	
2	Red brick building along railway track (part of Wreakside Centre)	Present on the 1884 maps, this red brick building was likely part of the original railway station complex. Today it stands prominently along Hoby Road and forms part of the Wreakside Centre.	
3	Mole Cottage, Brooksby Hall	Mole Cottage, originally a potting shed associated with the old estate, formed part of the east side of the walled garden at Brooksby Hall.	
4	Former stable block, Brooksby Hall	The former stable block, situated to the immediate east of Brooksby Hall, is one of the best preserved elements of the former estate. Today the buildings host the college common rooms, canteen and bar.	
5	The Old Rectory, Brooksby Hall	The Old Rectory is located in a secluded, wooded setting to the south of the church. This fine red brick residence was constructed at some point between 1884 and 1903.	

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6	<i>The Cottage, Melton Road</i>	<i>The Cottage is brick built, with large, imposing roofs that give it a top-heavy appearance. The careful arrangement of fenestration, placement of chimneys and centrally located entrances gives the building a strong symmetrical appearance.</i>	
7	<i>Spinney Farm Cottages</i>	<i>Spinney Farm Cottages were originally built to house workers associated with the estate at Brooksby Hall. They comprise six semi-detached dwellings arranged in a row along the eastern edge of a quiet, tranquil rural lane with an informal character (without road markings or kerbs). Property frontages are generously planted, continuing the verdant roadside aesthetic that is established at the Spinney Campus to the immediate north. The cottages are constructed of red brick with dark brown roof tiles. They are of a polite, unfussy design, with a two-storey pitched roof central section, and a subservient, set-back single-storey wing to the side. Importantly, despite the presence of the Spinney Campus to their immediate north and Brooksby Quarry to the west, Spinney Farm Cottages continue to benefit from a handsome rural setting, surrounded by ample tree and hedgerow planting, with these two neighbouring operations largely screened from view by boundary planting.</i>	



