



Brooksby Spinney Design Brief

September 2019

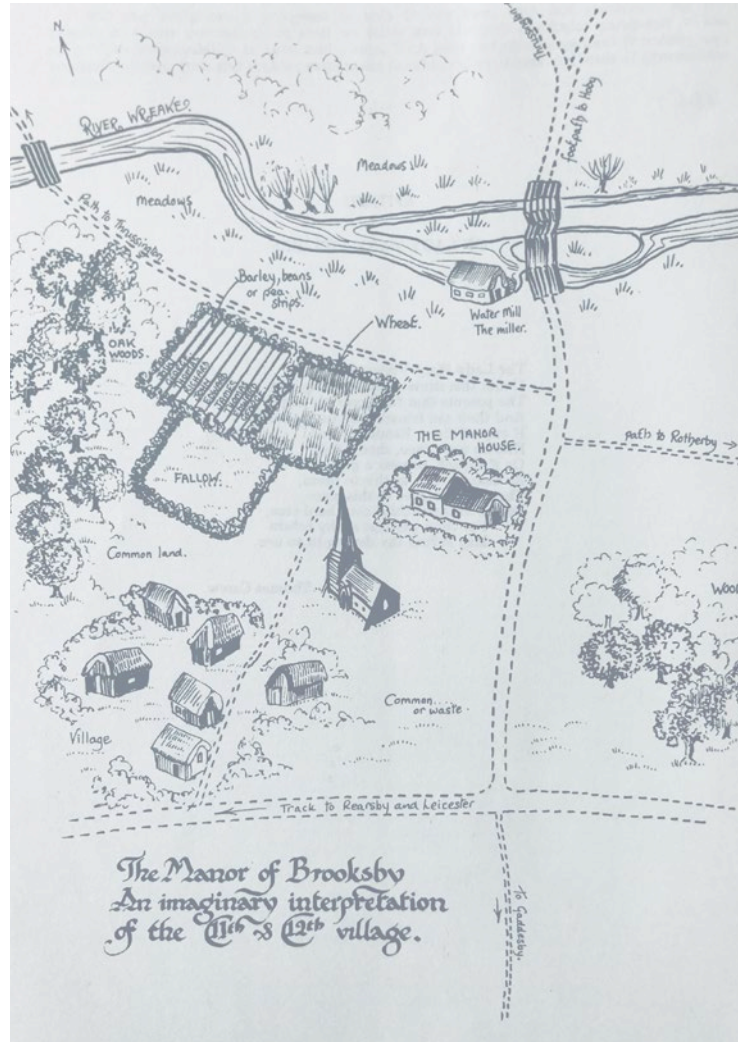


Illustration by John R Hubbard from "Brooksby The story of an estate and its people"

Quality Information

Document Title	Number	Prepared for	Prepared by	Date	Reviewed by
Brooksby Spinney, Melton-Brooksby College Design Brief	DR-10320_001	Hoby with Rotherby Neighbourhood Plan Steering Group	Nick Beedie, AECOM Elliot Jodrell Lucy Sykes AECOM	26.7.19	Angus Walker (Hoby w. Rotherby Parish Council)

Revision history

Revision	Revision date	Details	Authorised	Name
Rev 1	15/08/2019	Final Draft	HRNPDG	Angus Walker
Rev 2	11/09/2019	Final Version	HRNPDG	Angus Walker

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Introduction

The former Brooksby Melton College site also referred to herein as 'Brooksby Spinney' is the main subject of this Design Brief. It currently lies derelict, having previously been used for teaching as part of the wider Brooksby College campus, specifically for agriculture and horticulture. It is therefore classified as 'brownfield' land, ideal for regeneration and sensitive redevelopment.

The report is commissioned by the Neighbourhood Development Plan Group (NDPG) of Hoby with Rotherby Parish, with government funding provided to the group via Locality. The lead consultant for this project for the NPDG and the author of this report are AECOM.

This Design Brief should be looked at in conjunction with the Hoby with Rotherby Character Assessment (2018).

Planning Context and Site Background

The forthcoming Neighbourhood Plan, into which this design brief will be incorporated, will go to a referendum, which will determine whether the Neighbourhood Plan is adopted and becomes part of the Development Plan for Melton Mowbray. It would then constitute a material planning consideration for applications made at 'Brooksby Spinney'.

The Site has outline planning permission (approved on appeal) for; 70 homes (6 being affordable), 850 sq.m of B1 (Business Use for an office, for research and development of products or processes and for any industrial process which is not harmful to the residential amenity) employment and a 100 sq.m village shop. The site has detailed planning permission for access. Layout, scale, landscaping and appearance are reserved matters (further detail required for planning permission).

Purpose & Scope

The high-level purpose of this report is to provide an evidence base for the NDPG in developing their Neighbourhood Plan. The specific purpose of the design brief is to provide helpful guidance to all involved with the design and development of the site to realise its true value, both as an asset for the college to dispose of and as a new part of the community.

The Design Brief document is focused on the reserved matters above, but seeks to review them in a wider context. The aim is to provide a vision for the site that moves beyond developing 'just another housing estate.' Its integration with the wider Parish - the villages and College - will provide a sense of place for the new community.

Issues for the Design Brief

The outstanding reserved matters that require planning permission for the development to commence are; Layout; Scale; Landscaping and Appearance.

Therefore the design principles set out in part 3 of the document address these key topics to guide the detailed design towards creating a locally distinctive place.

Also, following the landmark Intergovernmental Panel on Climate Change (IPCC) report in October 2018 on 'climate change' the crucial issue of Sustainability is addressed to stimulate a response to the forthcoming 'climate crisis'.

Issues Outside the Scope of the Design Brief

Should a non-residential use be proposed for the site then the Parish will work with the college to formulate a suitable proposal.

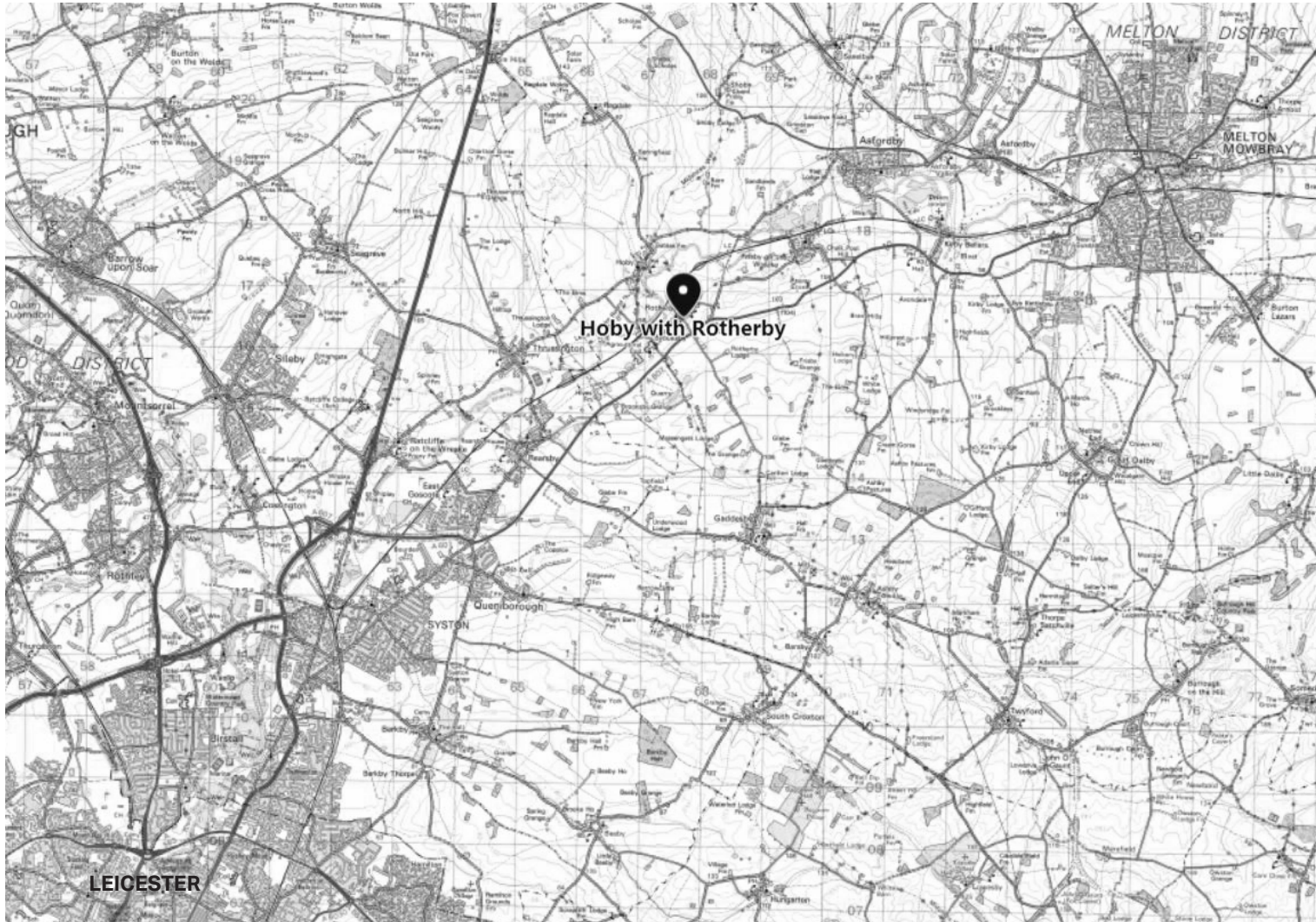


Fig. 1 Site location plan

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Evaluation

The evaluation of Constraints and Opportunities for the site and context are derived from the Assessment process, as set out in the Appendices. This includes policy and guidance review, site visit, desktop analysis and a stakeholder workshop.

It is summarised here under the four broad frameworks of Movement Routes, Landscape, Neighbourhood Pattern, Built-form and character.

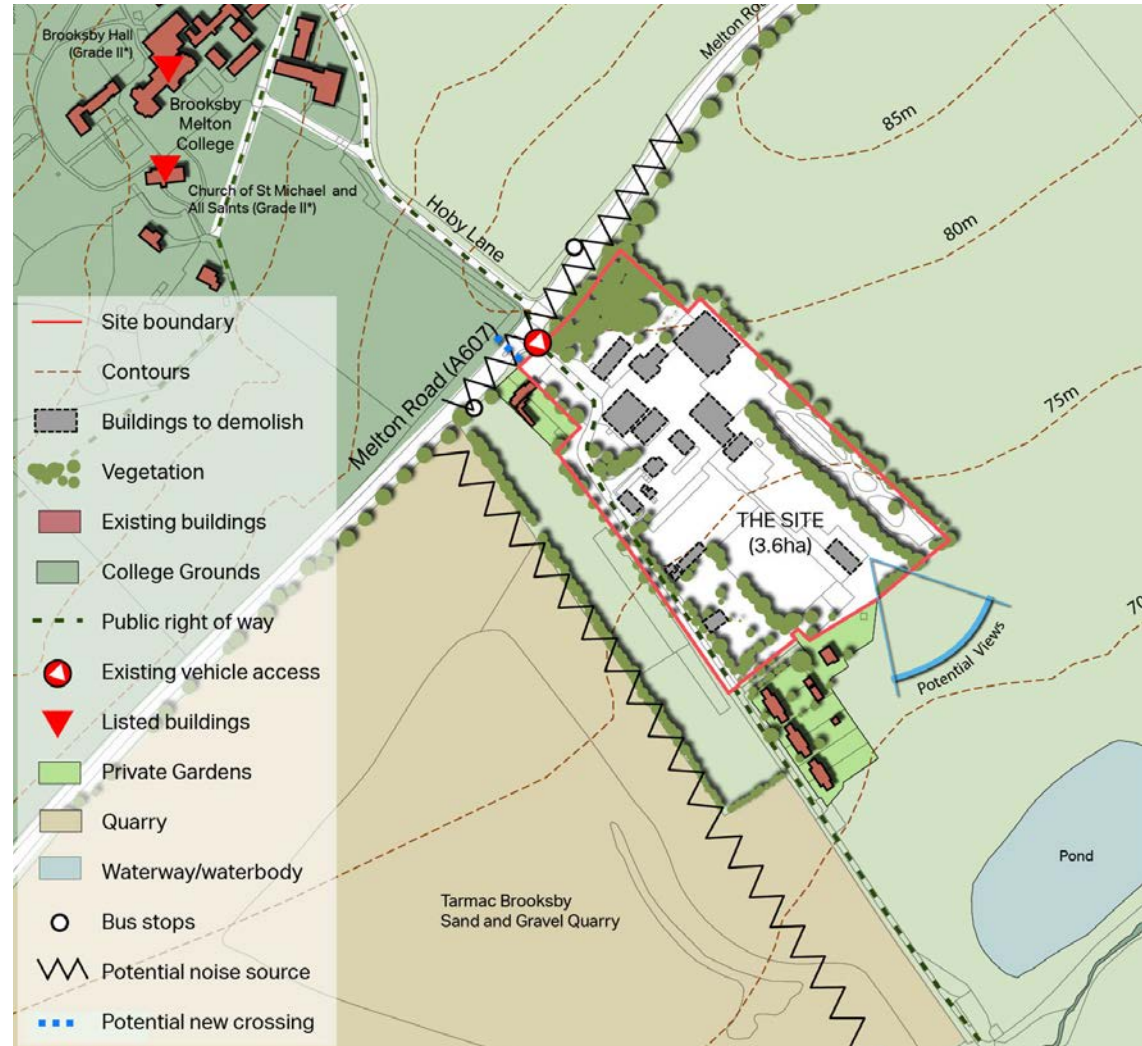


Fig. 2 Site features and constraints



Movement Routes

- Noise from the A607 Melton Road may require a set-back for the new development
- Maintain convenient vehicle access and improve junction safety for adjacent homes
- Maintain existing leisure route access for walkers and equestrians on the Midshires Way
- A safe and inclusive public realm that meets the needs of all users
- The current crossing point arrangement can be upgraded to aid all pedestrians

Landscape / Environment

- Well-screened site frontage with opportunity to re-establish a Spinney
- Opportunity for views south to valley and ponds, benefitting from southerly aspect
- Opportunity to continue horticulture on site in private gardens or communal ones
- Potential to strengthen the existing site enclosure and setting for development
- Potential future landscape restoration and possible leisure use on adjacent site
- Working with topography to minimise earthworks and utilise natural drainage

Neighbourhood Structure

- Development focus around integrating existing homes into the neighbourhood as part of a revived village of Brooksby, Brooksby Spinney forming the key residential component
- Potential for a locally run community store as part of a small mixed-use development
- Potential for adaptable premises for micro-businesses possibly relating to former agriculture/ horticultural use on site and linked to the college / local enterprise

Built-form and Settlement Character

- An outward facing development that nestles in the landscape, yet addresses it positively
- The potential to create a contemporary development character that greatly improves the look of the previously developed site and is complementary to the local villages
- A built-form and public realm that acknowledges the rural setting and in an attractive way
- A housing layout that responds to the site's micro-climate and maximises solar gain

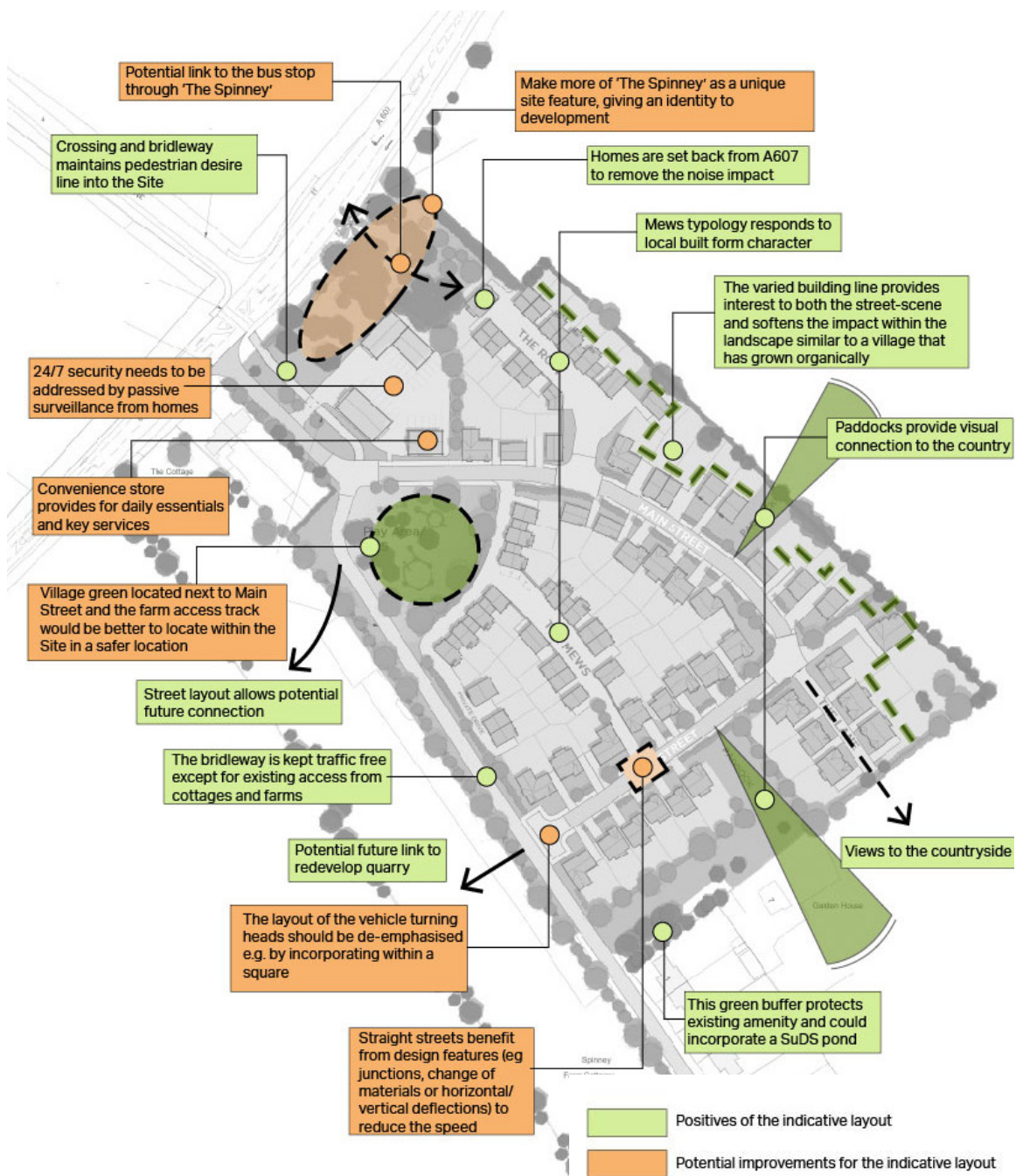


Fig. 3 Outline application indicative layout review

Review of Outline Application Scheme

The proposed layout annotated in Figure 3 has many excellent qualities that relate to the site context, local character and best practice in urban / rural design.

The introduction of paddocks to break up the street and give views out to the countryside, the mews street topology and varied building line in relation to both the street scene and the outward edge of the settlement give character.

The paddock as a device both breaks up development and allows potential connection to future recreation opportunities,

If judged most critically its biggest weaknesses are; the suburban layout of the main loop road within the site and the use of a "standard set of house types" will undermine any character gained by varied building line, mews street topology and views to the countryside. Although these are varied across the site, they are successful in some areas, less so in others. The positioning of frontages are not within 30' of east-west that minimised

passive solar gain. Some detached dwellings are not set within adequate plots (width-wise) and appear crammed together on Main Street. This is where the danger of producing 'just another housing estate' could creep in to the scheme.

In contrast 'The Row' looks to be the street that could be most successful spatially and have a real sense of enclosure. Whilst a series of cul-de-sac streets is not desirable, one -off short straight cul-de-sacs that are not dominated by the road engineering form and instead apply a shared surface principal are appropriate in the right locations.

The layout of the commercial and employment buildings in a flexible block form (possibly to allow for conversion to residential if other uses are not taken up) has potential and could benefit from being detailed as a rural courtyard type development with barn typology employment buildings.

3

Design Principles

The Vision

The following vision was generated from the stakeholder workshop.

This new community would be somewhere for people to make their home, not just another housing estate. Maximising the opportunity to regenerate a brownfield site will be balanced with a sensitive response to the site context and local character in order to create a sustainable¹ development via a collaborative process of placemaking².

As such the development should be;

- Future-proofed - incorporating technology (eg. electric charging points) whilst working with nature's flow (eg. water storage and drainage)
- A place for people to make a home where they can live, rest, play and work in comfort
- Developed sensitively in response to the site features, with an awareness of local landscape character and vernacular building forms

Strategic Aims

The following four aims have arisen from the stakeholder workshop consultation (see appendix) and been refined according to further desktop assessment of the site context:

- Knit development into and be complementary in role to the existing settlement pattern
- Connect into the existing network of movement routes for all modes
- Respond to siting within the mosaic of the wider landscape
- Create a new residential part of the neighbourhood area
- A newly built development that is of its time and place

Design Aims for Placemaking

- Accommodating a more diverse community
- Creating a future-proof, timeless development

- Enhancing value with a locally distinctive response
- Regenerating landscape, habitat and community
- Leaving a legacy that the college is proud of
- Challenging a developer to be more sustainable
- Co-creating with and engaging with stakeholders
- A flexible approach to land use and accommodation
- A unifying public realm that celebrates the local vernacular
- Creating thresholds which maximise opportunity for interaction
- Creating a seasonal, sensory place rooted in the landscape
- Creating richness, unexpected delight and a 'sense of place'
- Encouraging connectivity, legibility and safety for people

1 - Placemaking

Placemaking is a multi-faceted approach to the planning, design and management of public spaces. Placemaking capitalizes on a local community's assets, inspiration, and potential, with the intention of creating public spaces that promote people's health, happiness, and well-being.

2 - Sustainable Development

Sustainable development is the development that meets the needs of the present without compromising the ability of future generations to meet their own needs.

Brundtland Report (1987)

1.

Access and Movement

The site has detailed planning permission for access, but a set of recommendations will ensure a high quality design will be achieved in case of changes.

Site Access, Relocation of Bus Stops and A607 Crossing

Safe and convenient crossing of the A607, close to the junction of Hoby Lane is of paramount importance for all road users including; pedestrians, horseback riders, cyclists and motorists. These issues have been well considered under the Access scheme submitted with the approved outline planning application.

References: See approved detailed access plans - Site Access Improvement NTP-14053-05-Rev 0, Proposed Site Access 15387-001 Rev B.

Bridleway

Public Rights of Way including bridleways require a legal process to divert and so shall be incorporated within the layout on the present alignment. This will accord with the approved access scheme which factors this in to the design.

Recommendation: The right of access to existing dwellings and farms is to be retained.

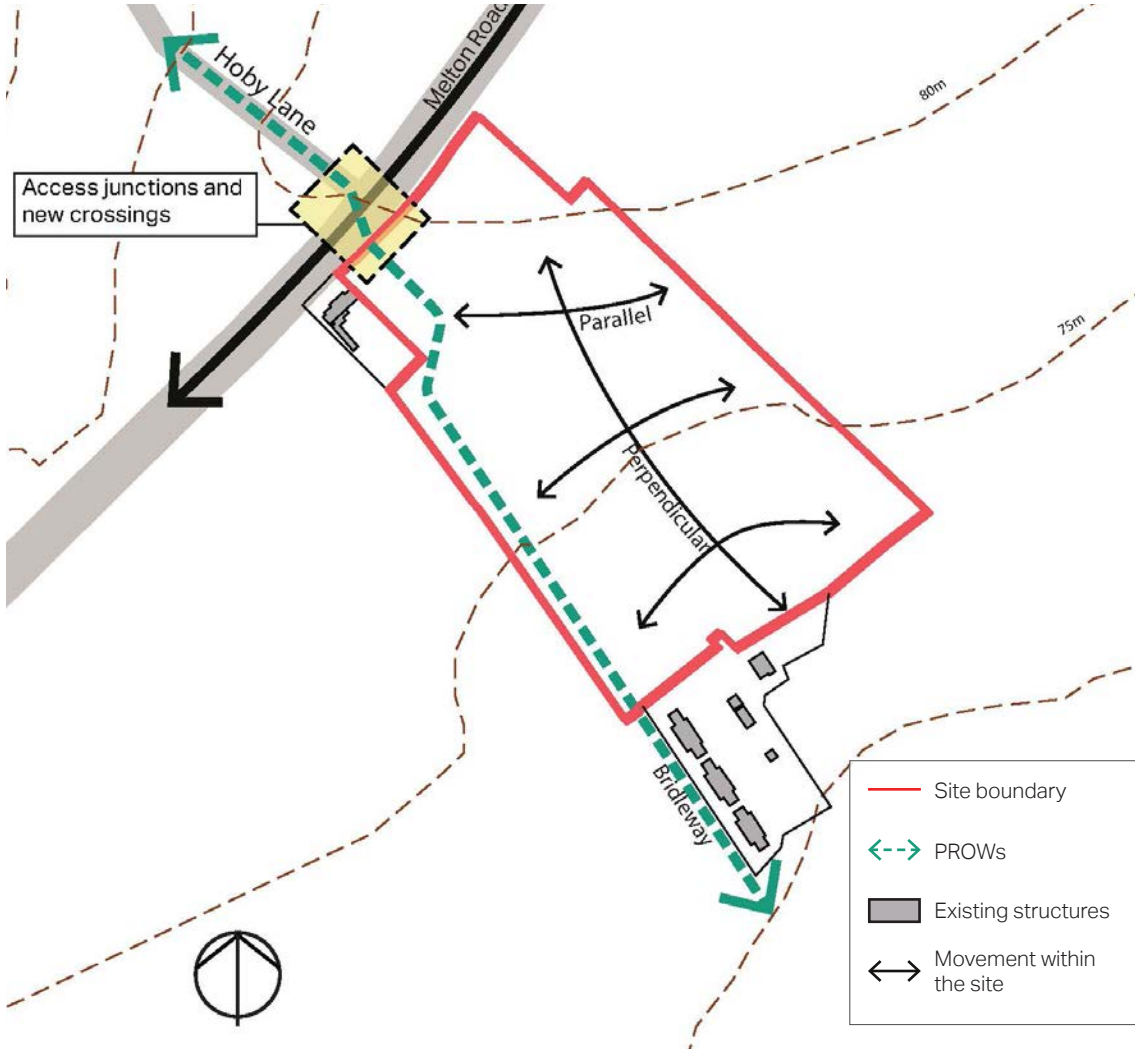


Fig. 4 Street alignment and contours

Street Hierarchy

Villages often consist of an historic main street with side streets developed away from this and finally back lanes or courts developed at a much later time.

This forms the basis for a hierarchy of streets and spaces of differing character and the development can pick up in this crucial aspect of layout and character.

Recommendation: The street network will consist of a hierarchy of primary, secondary and tertiary streets and lanes .

Footways

In rural areas it is common for single sided footpaths of varying widths to accompany streets and lanes which adds to the non-uniform rural character.

This must be balanced with appropriate minimum width footpath standards so that people, able-or in wheelchairs, can pass easily. This should not mean that every street has a 2m footpath on both sides always.

Recommendation: Follow Inclusive ByDesign guidance and incorporate convenient and direct pedestrian routes.

Construction Access

Construction access (via the existing access) should be planned to minimise disruption to existing residents and thought given to minimising disruption during the replacement of the site access which may be built beside existing.

Recommendation: Provide a Construction Management Plan to minimise disruption and increase safety due to community concern at this busy junction / access point.

2.

Layout



Microclimate, Daylighting and Solar Gain

The importance of the scheme layout in influencing the microclimate around dwellings should be emphasised in the orientation of the dwelling on site. The internal layout of the dwelling and window orientation, can affect significantly the level of daylighting within the dwelling and therefore the impact of solar gain on internal temperature. As high a proportion as practicable of the glazed areas of the dwelling should be facing within 30° of due south to maximise solar gain.

Recommendation: Orient main street frontages within 30° of east-west to maximise passive solar gain to south facing elevations and reduce energy requirements. This must be balanced against other layout needs to achieve a multi-faceted layout that achieves a distinctive local identity.



Examples of existing village building enclosure and layouts

Street Pattern and Enclosure

Villages tend to establish around intersections of routes but planning aims to steer development away from strategic highways to maintain the efficiency of the network. Linear settlement forms also occur along a principle street, which often may 90 degree deflection responding to historic field pattern. The result is to create a greater sense of enclosure than may otherwise be found. Whilst setting development back from the A607 the principle of enclosure can be introduced to the proposed scheme.

Recommendation: Slow vehicle traffic down through spatial layout, building placement and onward visibility to help establish a sense of place over a car-centric development. Headlight glare at night should be considered in this situation.

Thresholds / Front Gardens

Consideration of the interface between the public and private realm can greatly stimulate social interaction within a new village.

Recommendation: Provide front gardens, entryways, porches, consider boundary treatments and opportunities to personalisation.

Plot Sizes and Variations

The shape, size and arrangement of plots in local rural villages vary to suit the situation, historical constraints and position within the street hierarchy. Within these varying aspects a common theme is that plot series are typically oriented to reinforce the street. There are three basic types of plot relating to streets; attached, detached and semi-detached (forming a linear series with varying continuous frontage and building line). Within the fourth type - courtyards' plots form a centralised enclosed space rather than a linear form of street.

Recommendation: Achieving a degree of variation, relating to location on site and position in the street hierarchy adds interest to the streetscape.

3.

Landscaping

Landscape Features

The site is bounded by hedgerows of varying quality and has some internal hedgerows also. A small wooded area covers the northern tip of this site.

Figure 5 suggests which features to consider for retention and reinforcement and what could be removed subject to assessment of value by an ecologist.

Existing mature landscape establishes an instant character and setting to development from day one integrating the development into the landscape.

Recommendation: Re-establish 'The Spinney' (a small woodland area) at the high point of the site next to Melton Road to give a sense of rootedness to the settlement and something around which to build a sense of place with local identity.

Recommendation: Incorporate paddocks within development in order to break up the built-form (see Fig. 3), create a connection to the wider landscape both visually and spatially, also allowing future connectivity.

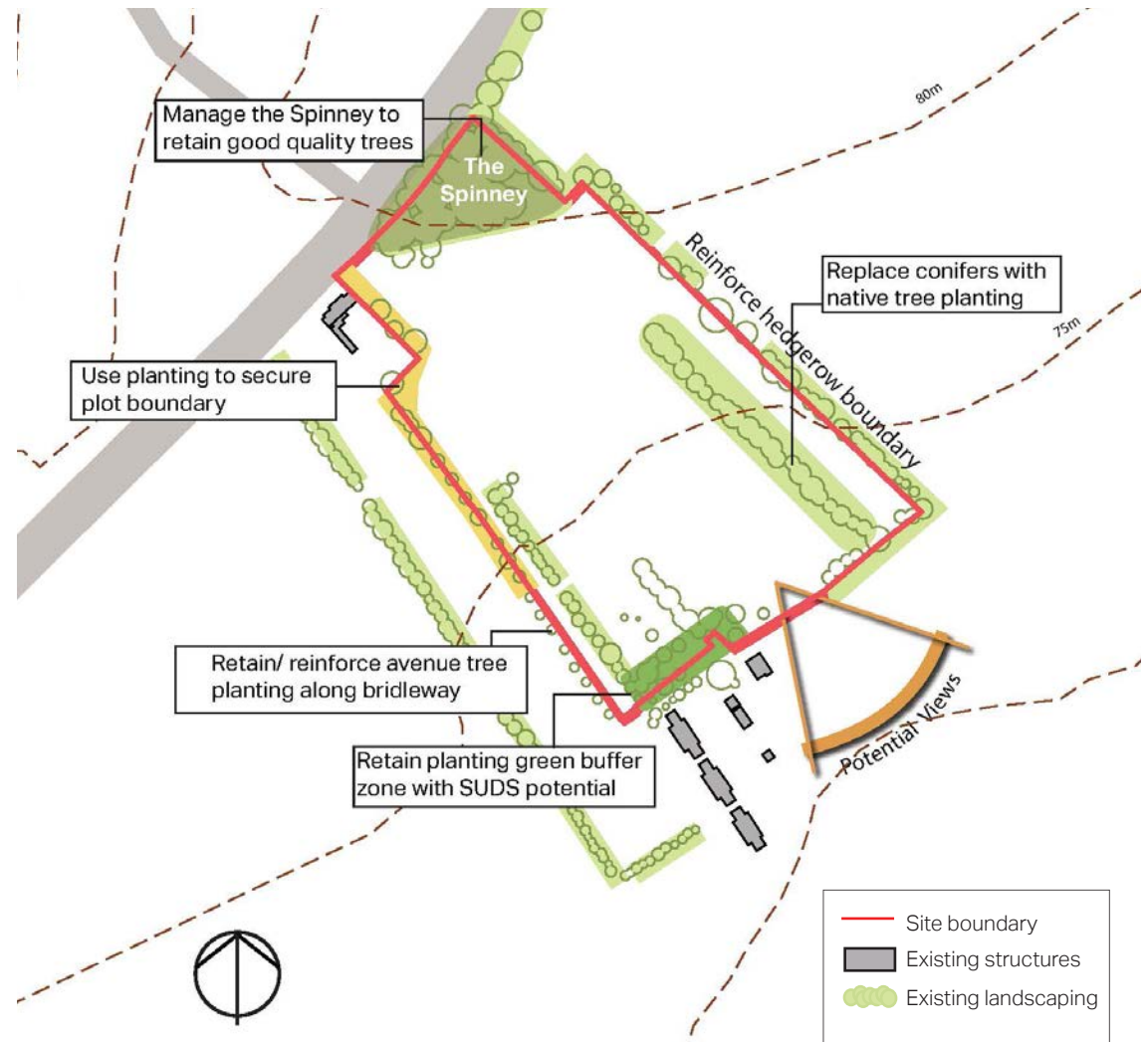


Fig. 5 Landscape structure

Examples of Sustainable Urban Drainage Solutions



Ecology

The ecology of the site can be enhanced through creating and reinforcing a connected structure of different habitats.

Stand alone features such as bird and bat boxes can also be incorporated into the Spinney.

Recommendation: Retain and/or replant hedgerow boundaries around the perimeter of the site to the north-east and south-east.

Requirement: Maintain hedgerow and tree planting along the south-west boundary to maintain the setting of the public right of way and bridleway.

Amenity of Existing Dwellings

The existing dwellings to the north-west and south require integration with the development proposals whilst protecting their existing amenity. The proposals can in fact significantly improve their amenity and security by creating a village around these isolated houses. It should be noted that the isolation in itself may be attractive to the existing small community and a small green buffer may be appropriate

to protect property boundaries and maintain a small distinction.

Recommendations: Create a defensible planted area around the rear property boundary of the north-west dwelling. Maintain a landscape buffer to the south of the site next to adjacent dwellings to protect and enhance amenity.

Water and Sustainable Drainage Systems (SuDS)

Sustainable Drainage Systems (SuDS) are a collection of water management practices that aim to align modern drainage systems with natural water processes.

The site naturally drains to the south-east, due to topography. Depending on the underlying geology of the site there may be potential for infiltration to occur and sustainable drainage features in the form of swales to convey or attenuate run-off and ponds to retain or treat run-off.

Recommendation: Investigate the potential for Sustainable Drainage Systems and combine with landscape features to reinforce the overall green network.

Run-off rates relevant to brownfield sites may apply to the site due to the existing buildings, and hardstanding.

The employment / commercial area may have a shared parking court suitable for permeable paving / soakaways underneath (likewise dependent on geology).

Employment buildings may also have potential for green roofs.

For the residential areas, permeable driveways with run-off storage underneath could be installed on a plot-by-plot basis subject to the viability of applying this solution site-wide.

Currently foul water is pumped back up hill to the north-west under Melton Road to the main college site.

Recommendation: Work with Severn Trent to understand capacity and connectivity to the foul sewer network.

Public realm surface materials



Public Realm Character

The village is characterised by a compact, linear layout, with well-defined built extents where the public realm is principally made up of residential streets and footpaths, the bridleway, open spaces and areas of existing and proposed planting. The spaces between buildings are as important as the buildings themselves in defining the character of the new village and should have a cohesive theme, complementary to the existing village scenes.

Recommendation: A rural village aesthetic could form the basis of the public realm design, incorporating simple, robust and attractive details. Local material palette should be considered (see Hoby with Rotherby Character Assessment (2018)).

Hard Landscape

Recommendation: Hard landscape materials should be selected from a limited range of complementary materials that are both hard wearing and full of character.

Existing bridleway alignment - crushed stone surface

Carriageway – rolled stone in bitmac

Footpath – resin bonded gravel / block paving

Carriageways and Footways

Recommendation: Avoid large expanses of bitmac and tall curbs within the development. Low curbs change perception and reduce vehicle dominance.

Recommendation: Rolling gravel in bitmac carriageways adds texture and visual quality to the surface and fits with the rural aesthetic of the scheme.

Recommendation: Shared-spaces should utilise simple block paving or an interesting textured surface.

Soft Landscape and Planting

Open areas should be considered carefully so that they are simple to maintain. Obvious pedestrian desire lines can be incorporated within the design. Spaces may have a more peaceful function with limited through access points. Circuitous routes are also attractive for recreational activities such as dog walking.

Recommendation: First utilise native species and justify non-native species selection if so.

Property Boundaries

In local villages the boundary treatments will often be adjacent and continue in material from the facades of buildings to reinforce the sense of enclosure within the village (eg. a brick house will have an attached brick garden wall).

Recommendation: The treatment of boundaries between private and public areas should be designed in a harmonious fashion to the buildings and each other to improve the street scene.

Because of the rural character of the parish, the hedgerows are commonly used as boundary treatments. The provision of these is encouraged to safeguard a "rural feel" and have a positive contribution for biodiversity.

Masonry is preferred for rear property boundaries. Brickwork can provide some view through from gardens if gaps are left and achieve a decorative effect also.

A rural feel may be achieved using estate railings for front or other property boundaries.

Open Space

The location, type and extent of public open space, play spaces and landscaping is envisaged as a Village Green, overlooked within the site, away from the main access and farm access.

Requirement - Provision of Open Space, Sport and Recreation as per policy EN7 of the Melton Local Plan.

Examples of an open space and boundary treatments



4.

Scale

Typical rooflines in Hoby and Rotherby

The scale of buildings in the nearby villages of Hoby and Rotherby typically varies from a three storey manor house to a single storey cottage.

Due to limitations of building technology and spans that could be achieved at the time, larger buildings tend to be made up of composite forms with simple additions.

Building Heights Recommendations:

Residential heights suitable to the site will typically be 1.5 to 2.5 storey unless a suitably radical and high quality architectural proposal is imagined instead.

A convenience store could be up to 3 storey with taller ground floor for commercial / flexible use and accommodation on upper levels. The scale and massing could be like a local manor house.

Employment use would be 1.5 to 2 storey in height. The scale and massing may be derived from a rural barn typology to fit in with the local context.

Recommendation: Massing of residential and employment buildings shall be comparable to local vernacular buildings.



5.

Appearance

The local vernacular architecture of Leicestershire can inform the proposals without being an exercise in applying details and features as a pastiche.

If a pastiche approach is attempted then it should be done with accuracy and commitment to authentic form, details and methods which may be prohibitively expensive.

A contemporary update or adaptation of the local vernacular is more desirable, interesting and will result in a scheme of both its place and time.

Exceptional appearance should be considered favourably if it is of high quality design and also locally distinctive in its own way.

Recommendations:

Forms: Barn / cottage / glass house / courtyard / terrace / simple addition of building forms is in keeping with vernacular design

Proportions: relating to traditional dwellings and making use of half storeys

Fenestration: Maximise openings on south-facing elevations.

Materials: Stone / glass / timber board / cladding / brick / shingle / slate / Rusted metal

Colours: Dark barn / silver wood / transparent sky / heritage grey / buff stone / chestnut shingle

Features: Chimneys/air-flues, porches,

Space Standards: Spatial standards to be achieved within individual dwellings, including the disposition of, and the relationship between individual rooms, circulating areas, etc. See National Space Standards for minimum sizes of dwellings.

Adaptability: In so far as practicable, the design of homes should provide for flexibility in use, accessibility and adaptability that allow homes to grow as families do, either on plot via extensions or internally via vertical expansion (eg. roof-space conversion).

Examples of built form and architecture



Examples of built form and architecture



Employment Typology

Recommendations:

Forms: Barn / glass house / courtyard

Proportions: related to simple pitched roof linear or L-shaped barns in developing a contemporary take on vernacular typology. Opening can be larger than a traditional barn.

Fenestration: Maximise openings on south facing elevations whilst considering moderating direct sunlight with louvres, canopies and external tree planting.

Materials: Stone / glass / timber board (painted or treated) / red brick / shingle

Colours: Dark barn / Silver wood
Transparent sky / Heritage grey / Buff stone / Chestnut shingle / Red brick

Recommendation:

The various house and employment building types, colours, materials and details will be applied in a controlled fashion in order to create a harmonious development.

If serviced self-build plots are released more scope for architectural variety is then appropriate and harmony should be sought through a more consistent public realm.

Recommendation: See Hoby with Rotherby Local character Assessment for gallery of locally distinct finishes and features from Hoby and Rotherby.

6.

Sustainability

Sustainability and Energy Efficiency

Both thermal performance and insulation are prioritised under current building regulations that promote a fabric first approach.

However, the right design decisions in relation to; building form; site layout; levels of insulation; amount and orientation of glazing; utilising solar energy; heating system and fuel type; use of draught lobbies; construction materials and measures to conserve potable water will also contribute greatly to sustainability.

Recommendation: Design 'Brooksby Spinney' as a low-carbon development. This is achievable through a combination of sustainable design principles including;

- Providing good access to public transport - the site is located at a bus stop but will generate significant vehicle trips and so other aspects should be maximised to compensate for these.
- Maximising solar gain and increasing the proportion of glazing on south-facing elevations.
- Minimising heat loss by

limiting openings to the north.

- Minimising exposure of the site through setting within the landscape and vegetation.
- Maximising the use of trees for shelter, privacy and air cleaning, but avoiding over-shading of southern elevations.
- Aligning buildings with the contours to avoid artificial mounding and wasteful under-building.
- Designing for flexibility so as to facilitate future adaptation to the changing needs of occupants, increasing building lifespan.
- Using materials from local sustainable sources first.
- Optimising the energy performance of the building to reduce CO2 emissions in the context of the general intention of substantially improving the energy efficiency
- Minimising the waste and maximising the recycling throughout construction and maintenance of the development.

In addition, these measures will

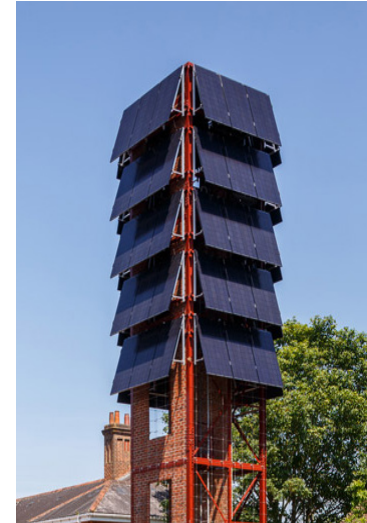
lead to cost savings, in the long term, while raising the level of comfort for the occupants of the new community at The Spinney,

Consideration should also be given to making provision for obtaining part or all of the space and/or water heating from alternative sources, such as solar collectors, wind energy, wood pellets, district heating, geothermal and waste/ surplus energy, where this is economically advantageous.

Recommendation: Future-proof development proposals by installing SMART devices and renewable energy capture technology on new homes subject to viability, including;

- Ground or Air-source heat pumps
- Electric charging points for vehicles
- Solar tiles (less visual impact than traditional photovoltaics) - subject to consideration of product lifecycle.
- Installation of water butts
- SMART meters and alerts to local bus times
- Pre-fabrication of buildings / elements using modern methods of construction.

Examples of solar panels and photovoltaics



4

Conclusions

Examples of prefabricated homes and illustration of renewable energy technology



Summary Findings

The indicative layout approved in outline has many good features but the development potential will be realised by a continued strong commitment to design and an a-typical commitment to detail design, sustainability and the focus to deliver *more than just another housing estate*.

If the spirit of the guidance is followed, there is a certain opportunity to deliver a small complimentary new village at Brooksby that will be a legacy for Brooksby-Melton college and deliver sustainable growth within the Parish to *meet the needs of the present without compromising the needs of future generations*.

Next Steps

Scope need for any further investigations regarding the capacity of the site to deliver a carbon neutral development.

Recommendation: Research status of land title and any way leaves, easements; topographical survey; investigation of ground conditions, location of services and utilities.

This report has set out an evidence base for the Hoby w. Rotherby Neighbourhood Plan.

Recommendation: Embed design policies within the Neighbourhood Plan.

5

Appendices

Methodology

AECOM's Urban Advisory team understand that local communities are cyclical, changing and evolving over time. We aim to get to the heart of current local issues to provide tailored advice that will encourage best practice in placemaking and urban design.

Our assessment methodology involved four key elements, which the structure of these appendices follow;

A - Design Policy and Guidance Review

B - Site Walkover

C - Desktop Assessment

D - Findings from the Workshop

This 'on the ground', locally engaged approach has been supported with the provision of mapping from the local authority Melton Borough Council. This Ordnance Survey mapping data together with our planning policy and guidance review, and approved application documents form a basis of a desktop review.

A site walkover with the NDP Group and the Brooksby Melton College estates team; and a follow-on stakeholder workshop session discussing the issues observed on site and broader topics relating to placemaking, reserved matters and the design brief complete the local picture.



A Design Policy and Guidance Review

The following documents and guides have been reviewed in order that this design brief complies with both policy and local character assessment;

- The Melton Local Plan (Adopted 2018)
- Hoby with Rotherby Character Assessment 2018

The sample of design policy extracts featured here are for quick reference only but does not provide a full summary.

The full policy and guidance can be found here:

www.meltonplan.co.uk

www.hobywithrotherbypc.org.uk/uploads/hoby-with-rotherby-character-assessment-final-301018-low-res-pages.pdf

The Melton Local Plan (Adopted 2018)

Policy D1 of the local plan sets out overarching principles on Raising the Standard of Design with the desired outcome that *all new developments should be of high-quality design.*

It states that all development proposals will be assessed against all the following criteria:

- a. Siting and layout must be sympathetic to the character of the area;
- b. New development should meet basic urban design principles outlined in this plan;
- c. Buildings and development should be designed to reflect the wider context of the local area and respect the local vernacular without stifling innovative design;
- d. Amenity of neighbours and neighbouring properties should not be compromised;
- e. Appropriate provision should be made for the sustainable management of waste, including collection and storage facilities for recyclable and other waste;

- f. Sustainable means of communication and transportation should be used where appropriate;
- g. Development should be designed to reduce crime and the perception of crime.
- h. Existing trees and hedges should be utilised, together with new landscaping, to negate the effects of development;
- i. Proposals include appropriate, safe connection to the existing highway network;
- j. Performs well against Building for Life 12 or any subsequent guidance and seeks to develop the principles of 'Active Design' for housing developments;
- k. Makes adequate provision for car parking; and
- l. Development should be managed so as to control disruption caused by construction for reasons of safeguarding and improving health and well-being for all.

Hoby with Rotherby Character Assessment (2018)

The following list of key points from this important document set up many cues for the design of any new local developments;

- Dwellings dating from post-war to present have more set backs with private gardens.
- Post-war buildings appear more uniform in layout and arrangement, as planned.
- Older buildings are set to the the back of pavement, giving greater enclosure to streets.
- Varied plot sizes and variation in building lines respond to micro-conditions over time.
- Historic linear development patterns occur in both Hoby and Rotherby villages.
- The Row in Rotherby is a traditional mews style development of note.
- Red brick underpins the traditional material palette.
- Boundary hedges and red brick walls are common boundary treatments.
- Strong (unbroken) building lines are used to define street spaces.



B

Site Walkover

Site visit record

The site walk undertaken on Wednesday 3rd of April confirmed the derelict nature of the site and revealed the excellent potential for redevelopment of the site for housing with a south facing aspect.

Four key observations from the site were;

- The separation of the site from Rotherby and Hoby villages and the need for better integration;
- The dominance of the A607 highway corridor on the site frontage and potential noise impact requiring mitigation within the site;
- The onward connection to the countryside via both the public right of way and views over rolling countryside to the south.
- The mixed quality of the landscape boundaries and need to strengthen them.





C Desktop Assessment

This section focusses on the three key assessment frameworks of the wider **Landscape, Movement** and **Neighbourhood** pattern.

Movement

The plan illustrates the Public Right of Ways (PROWs) including the Midshires Way long distance route, bus routes (5 / 5A / 8 / 29 / X5) and the road network across the local area. It also illustrates how the site is accessed from the local network via the Melton Road (A607) and for pedestrians via the Midshires Way which travels the western edge of the site. The movement network is generally oriented east-west between Leicester (west) and Melton Mowbray (east). The site also lies at the end of the north-south route Hoby Lane via Brooksby Melton College, then continuing south via the Midshires Way. The nearest train station is at Melton Mowbray, located 5 miles north-east of the site.

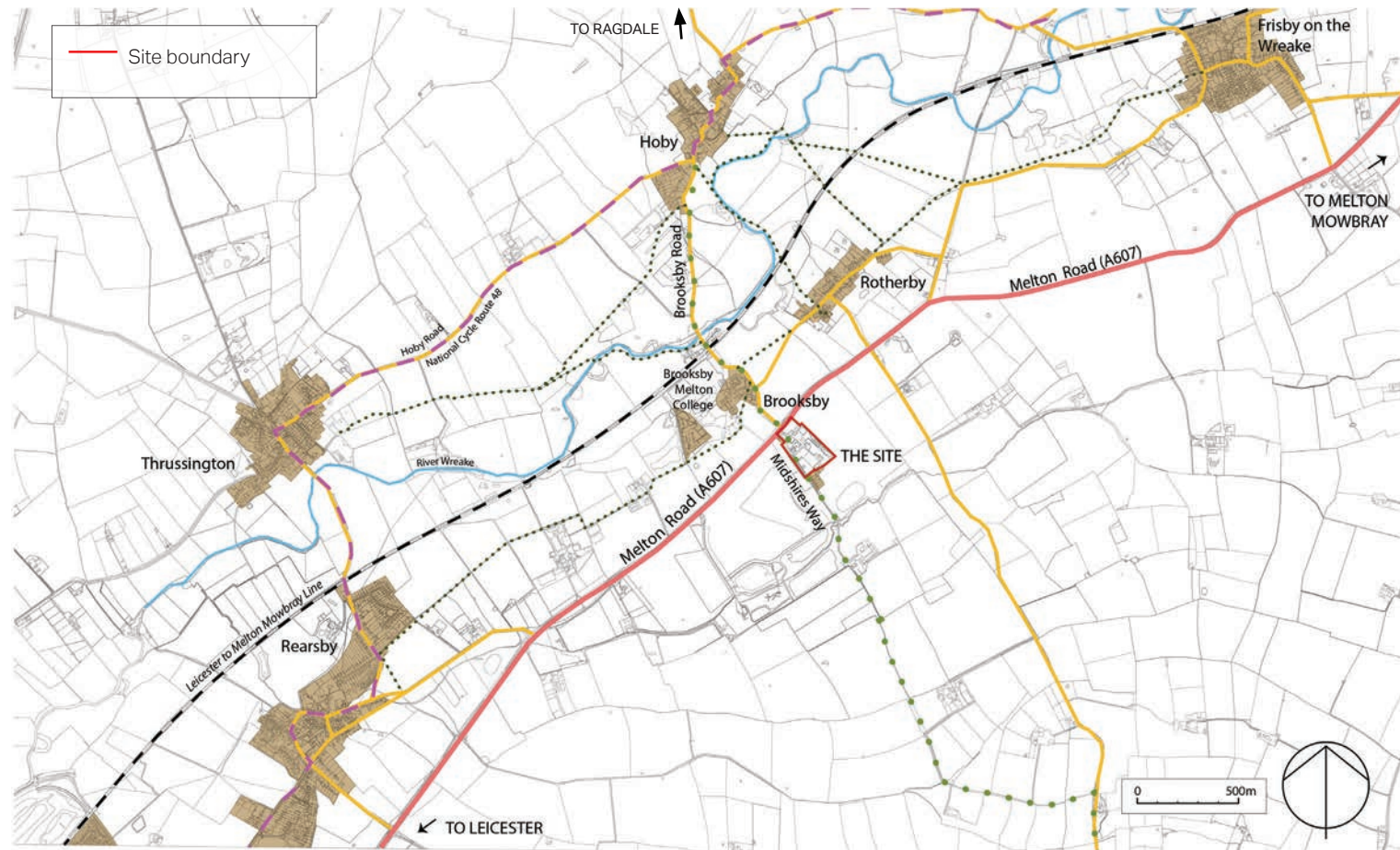
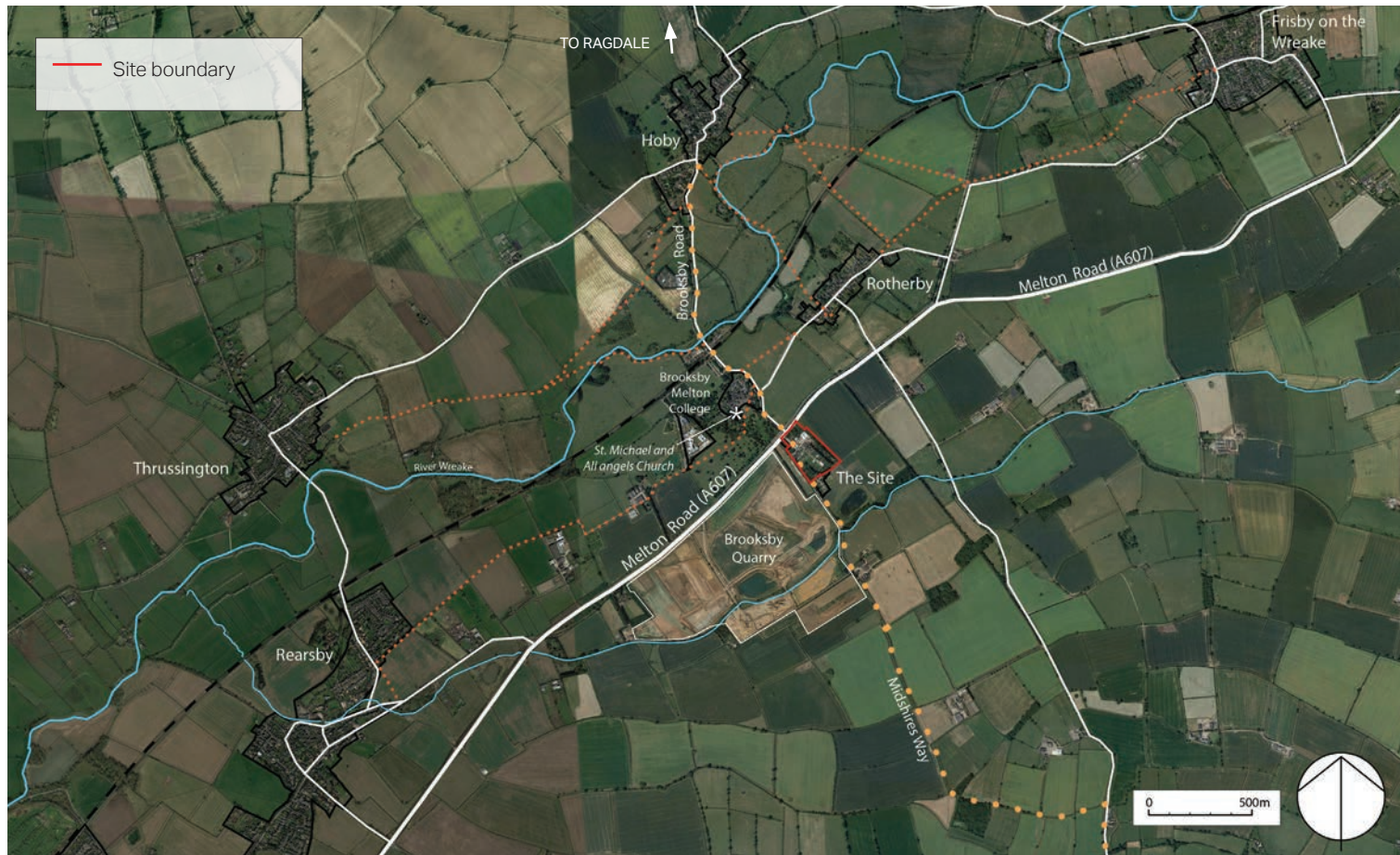


Fig. A1 Movement context



Landscape

The River Wreake corridor runs in a south-westerly direction, thematically linking the various settlements within the neighbourhood area. The broad landscape character is a pattern of field enclosure with smaller enclosures knitting tightly around the settlements. The Brooksby quarry breaks this landscape character and shows a larger amalgamated quarry area where the land has been stripped and laid bare, directly to the south-west of the site. Vegetated field boundaries define Melton Road and Hoby Lane and the site itself.

Fig. A2 Landscape context

Neighbourhood Pattern

The nearest further education facilities are at Brooksby College (within 400m) alongside further sporting facilities (including an equestrian centre), The Church of St Michael and All Angels and the historic Brooksby Hall itself. This is a privately-owned campus but may provide some access to the community for specific events. The college has excellent modern sporting facilities which have been developed to the west of Brooksby Hall. Both Agricultural and Horticultural teaching was formerly conducted on the Spinney site.

The site is within 5 miles of Melton Mowbray town centre where a range of supermarkets and comparison shopping is available. The nearest village centre is Hoby, 1 mile to the north of the site. This includes a public house, church and community hall. Bus routes; 5 / 5A / 8 / 29 / X5 stop by the site and provide access to the service centres of Melton Mowbray and Leicester.

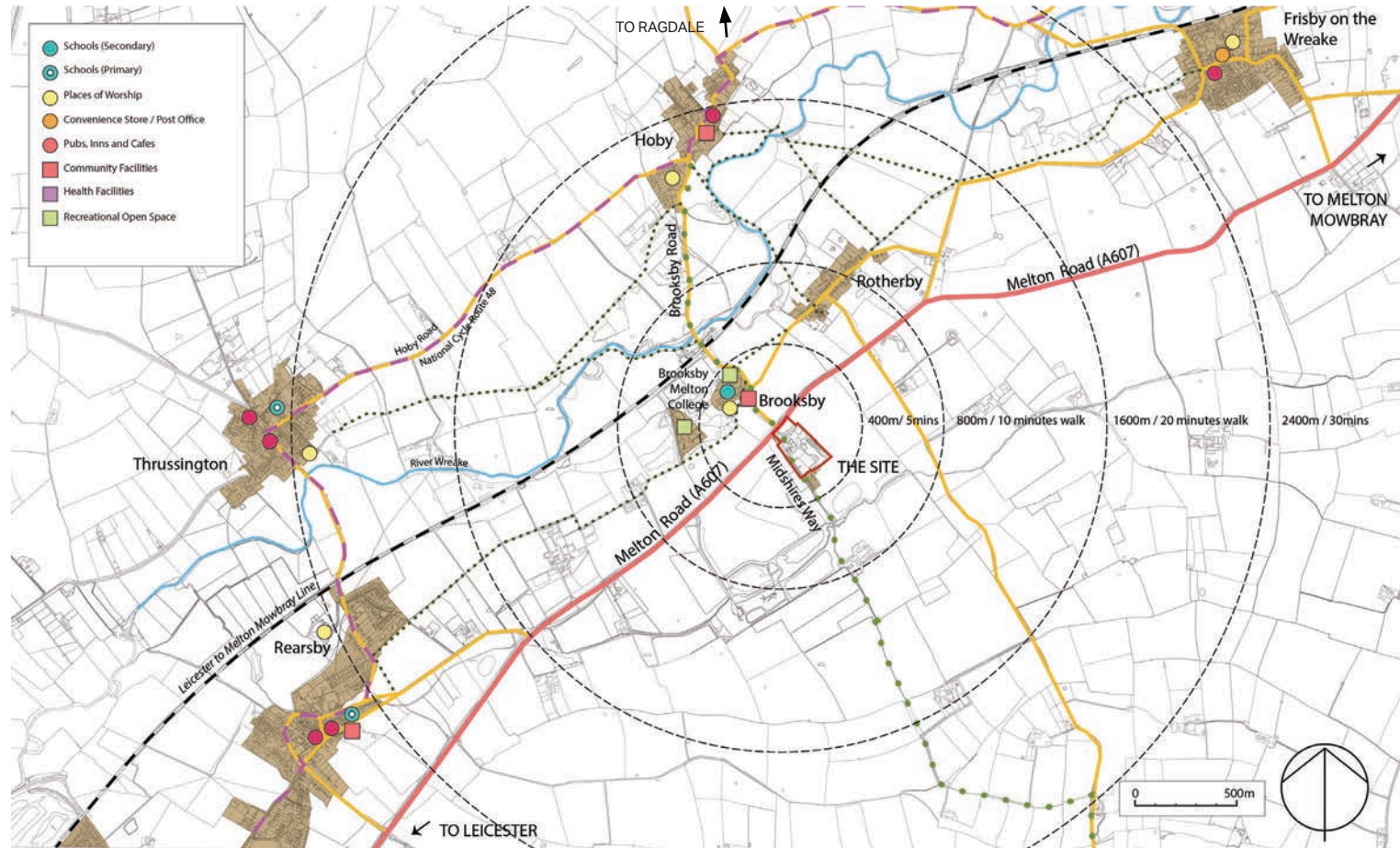


Fig. A3 Neighbourhood context

D

Findings from the Workshop

Overarching Themes

- Identity / 'Sense of place' is key
 - Creating value and opportunity
 - Separate from Rotherby and Hoby
 - A new place and a new settlement
 - Complements the villages of the Parish
 - Not a historic 'pastiche' development
 - Historic village replaced by Brooksby Hall
 - New settlement / village of Brooksby Spinney
 - Connectivity and integration are the key to success
 - Wayfinding - links to the college and safety of the students
- Connectivity - creating links to the countryside and to the community
 - Quality of legibility - complements wayfinding through response to site
 - A future-proof development e.g. provision of electric car points etc.
 - Connection / integration with the landscape - aspect and prospect
 - Integrating the pieces of the existing hamlet into the whole
 - Diversity of homes and new community members
 - Forming part of a wider welcoming community
 - Development should be 'Of its time' - in both appearance and building technology

Potential Constraints

- Grade II listed Brooksby Hall setting?
- The Melton Road – Barrier to pedestrians
- Rights of access/light to existing properties
- Noise from A607 – Melton Road to be mitigated
- Drainage pumped back up under A670 to the college

Assets

- Bus connection to the town centres
- Site proximity to Brooksby Melton College
- Church of St. Michael and All Angels at college
- Grade II* listed Brooksby Hall is nestled, out of sight
- Elevation and topography provide views to quarry ponds

Opportunities

- Co-create a quality development and a legacy for the college
- Providing housing for younger residents / changing profile
- Improve the outlook and situation of existing dwellings
- Strengthening the landscape structure and habitats
- Placemaking - means creating value with the site
- Regeneration of a brownfield site - an eyesore
- Relocated bus-stop and layby upgrade
- Creating a village green / centre
- Reinforce/ create a 'Spinney' (small woodland)

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Contact: Nick Beedie, MRTPI
Principle Urban Designer
AECOM, Manchester

T: +44 (0)161 907 3500

E: nick.beedie@aecom.com